

City of Santa Barbara Building & Safety Division **Existing Building Access Compliance Form:** Community Development 630 Garden Street 805-564-5485

19	30 Avvelaga		BLD20	0
Proje	ect Address	Year F	Built	Case Number
CAI	LIFORNIA BUILDING CODE SECTION 11B-202.4	Accessibi	lity for Existing Buildi	ngs & Facilities.
o the	cisting buildings and facilities - When alterations, structural repairs or a specific area of alteration or addition shall be added.			
o 209	ption 8: When the total cost of the project is equal to or less than the cu % of the project valuation. When the cost of full compliance exceeds ding 20% of project cost. Accessibility features should be completed in	20%, compli	ance shall be provided to the	maximum extent possible v
la.	Adjusted Cost of Construction for this Project (based on Marshall	& Swift Cost E	stimator or similar)	\$ <u>"19,179</u>
2a.	Cost of Construction over the last 3 years for this building or to where no accessibility upgrades were included	enant space	only	\$
3a.	Total Cost of Construction: (Add items 1a + 2a)			\$ 19.179
la.	20% of Total Cost of Construction (Multiply Item 3a by 0.2)			\$ 3835
	*This is the maximum amount required to upgrade existing Pa	ath of Trave	l items on this project.	
PRO	VIDE "COSTS TO UPGRADE" THE ACCESSIBLE "PAT	TH OF TRA	VEL" PER CBC 11B-202	2.4 EXCEPTION 8
	Please provide amounts for both columns and check the appropriate boxes for the items below:	Already Compliant	Cost to Make Fully Compliant	Cost of Work On This Project
a.	An accessible entrance to & into the structure (level landings, lever hardware, min. door width, etc.)		\$ 12,400	\$ 3100
2b.	An accessible route to the altered area (elevators, ramps, stairs,		\$ Not Feacuble	\$
вь.	hallways, path from ROW, parking, etc.) At least one accessible restroom for each sex (unless single use		\$NA	\$
lb.	restroom as allowed by plumbing code) Accessible public telephone(s) (if provided)		\$NA	\$
b.	Accessible drinking fountains (if provided)		\$NA	\$
b.	Additional accessible parking, storage/alarms (if possible) (This refers to items that are above and beyond the minimum listed above)			\$
b.	Total cost of providing accessible features		\$ 12,400	\$ 3/00 *Total does not need to exceed 2
	ify that the above costs are based upon a valid estimate by a qual tigation by me or my authorized representative.	lified person	or firm and existing comp	liance is based upon a sit
Appli	cant Printed Name THOMAS WOORE		Γitle/License # <u>C - 2</u>	3743
ppli	cant Signature Licensed Architect, Licensed Contractor, or person knowledgeable with the		Date 11/13/19 and Federal Accessibility Code	s. If not licensed, provide

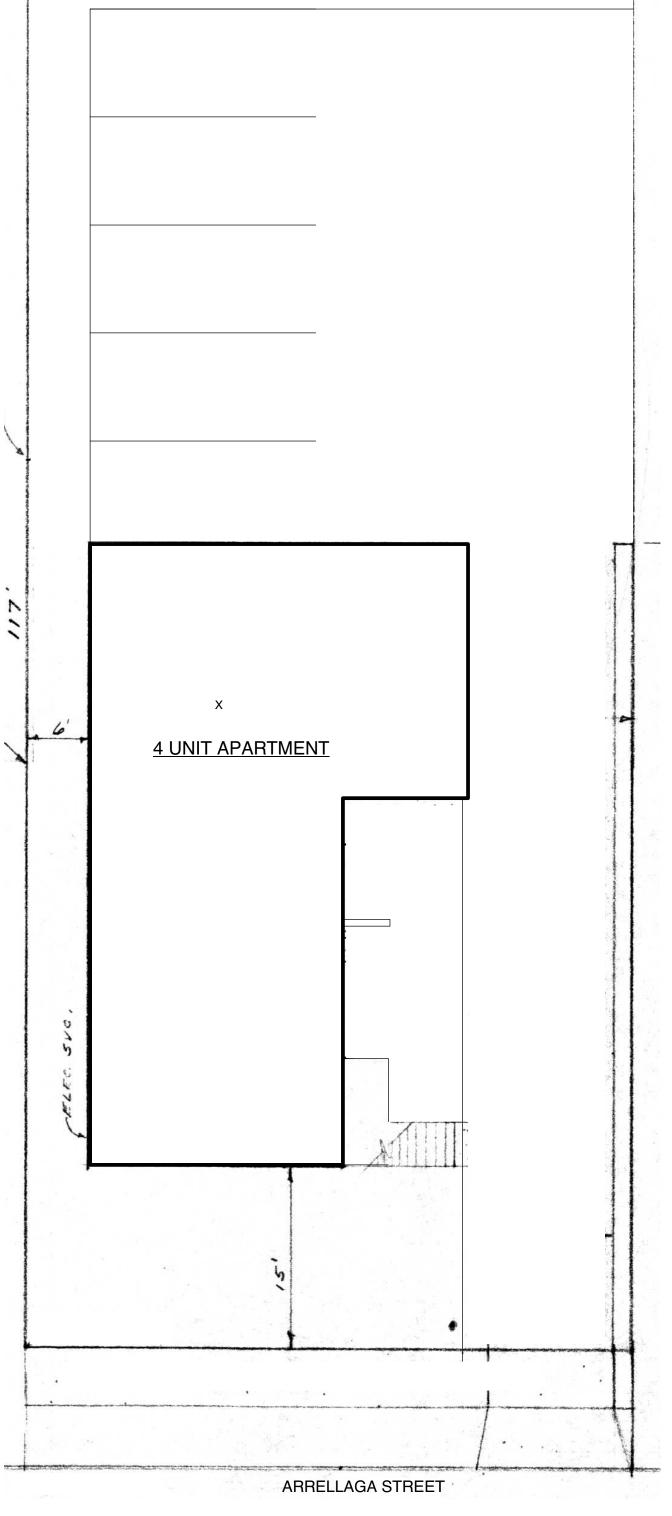
Accessible Features to be Evaluated	Che	eck A	ppro	priate	Box	Location on Plans	Compliance Cost	Compliance Cost
Licensed Professional Shall Determine Path of Travel Features Required to be Compliant with 2016 CBC & Chapters 11A & 11B	Already Compliant	Compliance Required Under This Project	Hardship	INFERSABLE		Location of Each Accessibility Requirement on Plans including Sheet/Detail Number	Show Cost of Work Necessary to Achieve Full Compliance	Show Cost of Each Element Provided Under This Permit Below (20% Hardship Rule does not apply to Area of Work)
SECTION 1b. Accessible Entrance(s)		,					1167 45 45	149 - 4
Entry Door(s)		V					4800	1200
ISA Signage ⁴		L.,						1
Level Landing Each Side & Legal Size ¹		V					58500	1450
Min. 32" Wide Door Opening Clearance ¹	V							
Top Threshold to Landing: 1/2" max.1		V					600	150
24" Exterior Pull Side ¹	V							
12" Push Side @ Interior ¹	V							
Lever or Panic Hardware ¹		V					600	150
10" Smooth Kick Plate ¹		V				,	600	150
5 lb max. Opening Force + Timed Sweep ¹	/						12,400	3100
						Section 1b Total	, ,	
SECTION 2b A. Exterior Accessible Rout	e to	Acces	sibl	e Ent	ance(s)		
Accessible Route from Public Sidewalk ⁵			١	V.				
Min. 48" path to Accessible Entrance ⁶				V				
Ramps:		V						
Max. 1:12 slope		1						
Max. 1:48 Cross slope		1/						
Handrails on both sides								
Site Signage ^{2,3}								
Accessible Parking (AP) 8				V				
Number of Van & Accessible Spaces	-			1		#Van #AP		
12' Van Stall w/ 5' Access Aisle on Right								
Stall(s) Signage				++				
Stall(s) Closest to Entry	-		_	+++				
Access Aisle Width 5' & 8' max 1:48 Slope				1/				
Squic ore, I Amil 6 30 C mini W stain ecoson	-			I SV I	Section	2b Subtotal A		_
CECTION 25 D. Interior Accessible Dent	ı to	Amaa :	of A1	_		20 Subivial A		
SECTION 2b B: Interior Accessible Route 5' landings on pull side of doors 1	τυ.	ы са (JI A	terat	JII	NΔ		
4' landings on push side of doors				+-+	-	11/2		
				+	_			
Doors: 18" strike edge clearance on pull side				+	_	-/-		
12" on push side with closer and latch				+	-			
Lever or "panic" hardware				+				
	_		_	+				
32" min. clear door opening				+		3		
Top Threshold to Landing: 1/2" max.		-	_	+	-			
Min. 44" corridor width > 10 occupants ⁹				+-+	_			
Tactile signage at exit/stairway doors ²		-	_	++				
Tactile signage at other rooms w/signs ²				+				
D								
Ramps:					_			
Max. 1:12 slope						n 10		
Max. 1:12 slope Max 1:48 cross slope				\vdash				
Max. 1:12 slope						2b Subtotal B		

GENERAL NOTES

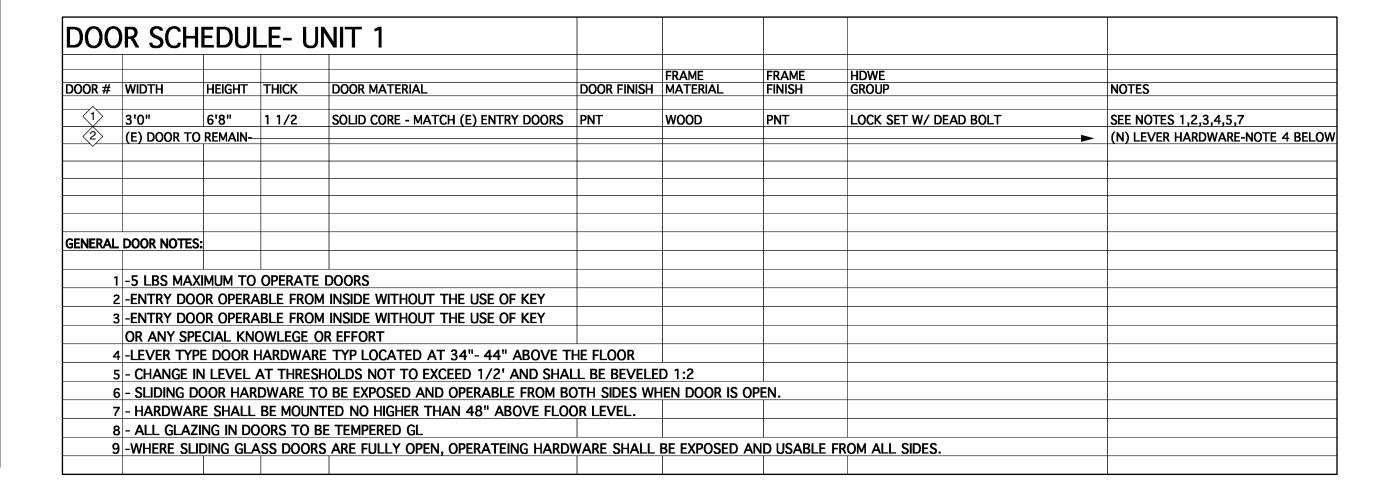
employees and subcontractors.

1. The contractor and subcontractors shall visit the site and familiarize themselves with the existing conditions
prior to bid. Contractors shall take all visible conditions into account in his bid proposal.

- 2. The Contractor shall notify the Architect of any ambiguities or inconsistencies in the Drawings, or any proposed changes prior to starting work. He shall not proceed until receiving clarification or instructions from the Architect. The Contractor shall not scale the Drawings, but shall contact the Architect when in need of clarification.
- 3. It is the responsibility of the contractor to install all temporary bracing and shoring to ensure the safety of the work until it is in its completed form.
- 4. In the event of discrepancies between any drawings and/or specifications, the costlier or more restrictive condition shall be deemed the contract requirement, unless otherwise stated in writing from the owners.
- 5 On-site verification of all (E) dimensions and conditions shall be the responsibility of the contractor and/or sub-contractor. Specific notes and details shall take precedence over general notes and details noted dimensions take precedence over scale. Where there is no dimension or where there is a dimensional disagreement, it is the contractor's responsibility to obtain clarification from the architect and to notify the architect immediately of any
- 6. The contractor shall, at all times, keep the premises free from all accumulations of waste material or rubbish caused by his employees and, at the completion of the work, shall remove all rubbish, debris, equipment and surplus materials belonging to him from in and about the building, and leave work site "broom clean." Undisturbed areas of the residence are to be protected from weather, dirt and dust. The Contractor shall recycle material to the
- 7. Where not otherwise specified, new work shall match existing as closely as possible and as allowed by law, codes and ordinances.
- 8. The Contractor shall provide all labor, materials and installations, unless otherwise noted in the Drawings and
- Specifications, even if not specifically shown, for a complete, watertight, first-class project. 9. The Contractor shall protect work and all adjacent buildings and properties from damage, weather and theft. The Contractor shall repair or replace any existing construction, new work or landscaping damaged in or beyond
- 10. The Contractor shall remedy any faulty or inferior materials or workmanship or any damages resulting therefore, at his expense, for a period of one year after the completion and acceptance of the work.
- 11. The Contractor shall provide a list of all items excluded from the Bid, and a list of items to be provided by the client and installed by the Contractor. The Contractor shall assist the client with scheduling and coordination of work and materials to be provided by the client, so as not to delay construction.
- 12. Because the client and/or residents will occupy the site during the entire construction process, the Contractor and client shall agree on normal working hours and job site protocol prior to starting work. The Contractor shall endeavor to protect the client's privacy, and is responsible for the workmanlike and gentlemanly behavior of all his
- 13. All question and requests for information to the Architect from the General Contractor shall be made in writing vis US mail, FAX, or as an attachment to an email. All communications from subcontractors shall be addressed through the General Contractor. Except as an emergency situation, phone calls will not be accepted by the
- 14. All shop drawings and submittals required by these Drawings and Specifications shall be reviewed and approved by the Contractor prior to Architect and/or client review.
- 15. The Construction Documents, Drawings and Specifications, Addenda, Construction Directives, Change Orders, and other written or electronic documents are "inclusive", meaning that all work referenced and/or shown in any area of the above is included in the required Work regardless if not shown, repeated or cross-referenced
- 16. The Contractor shall maintain a record set of Drawings recording all as-built field changes to the approved set if permit Drawings. The Contractor shall give the client all manuals, warranties, and literature of installed items at conclusion and acceptance of Work (Substantial Completion).
- 17. The Architect shall provide construction observation as needed and as directed by the client. The Architect is not supervising the Contractor nor providing direction or construction management to any of the Contractor's services, schedules, means or methods. Questions and clarifications to the Architect shall be delivered in writing, and shall be assumed to have no effect on cost unless expressly stated by the Contractor. The Contractor must obtain written approval of a Change Order before proceeding with items of work which require extra cost, regardless
- 18. It shall be the responsibility of the contractor to ensure that all safety laws are strictly enforced and to maintain
- 19. Within the area of new work, the contractor shall demonstrate to the building inspector that accessibility dimensions have been provided to comply with Title 24 of ADA accessibility requirements.
- 20. Location of mechanical electrical and plumbing lines, pipes, ducts, conduits, fixtures and equipment are shown diagrammatically unless specifically dimensioned.
- 21. Flammable and combustible liquids are not permitted to be placed or stored in the building.
- 22. The contractor shall provide backing to walls to support built-in furniture and cabinet work.
- 23. Exterior dimensions typically to face of stud (F.O.S.) face of concrete (F.O.C.) to face of plywood sheeting (F.O.P.). Larger scale drawings take precedence over smaller scale. Floor heights are to top of plywood subfloor
- 24. (E) designates "existing" and (N) designates "New."
- 25. The contractor shall provide fire extinguishers in the area of work



SITE PLAN



SHEET INDEX

TITLE SHEET/ PROJECT INFO/ SITE PLAN FLOOR PLAN/ WINDOW SCHEDULE **ELEVATIONS**

PROJECT DATA

PROPERTY OWNER HOUSING AUTHORITY OF THE CITY OF SANTA BARBARA 702 LAGUNA STREET

SANTA BARBARA, CA 93101

630 WEST ARRELLAGA PROJECT ADDRESS SANTA BARBARA, CA

043 222 014

(E) BLDG OCCUPANCY RESIDENTIAL SITE DESCRIPTION:

LOT SIZE .14 ACRES 5896.94 S.F. SLOPE 2%

(4) 2 BEDROOM UNIT MULTI-FAMILY RESIDENTIAL SITE USE: NUMBER OF STORIES

SCOPE OF WORK

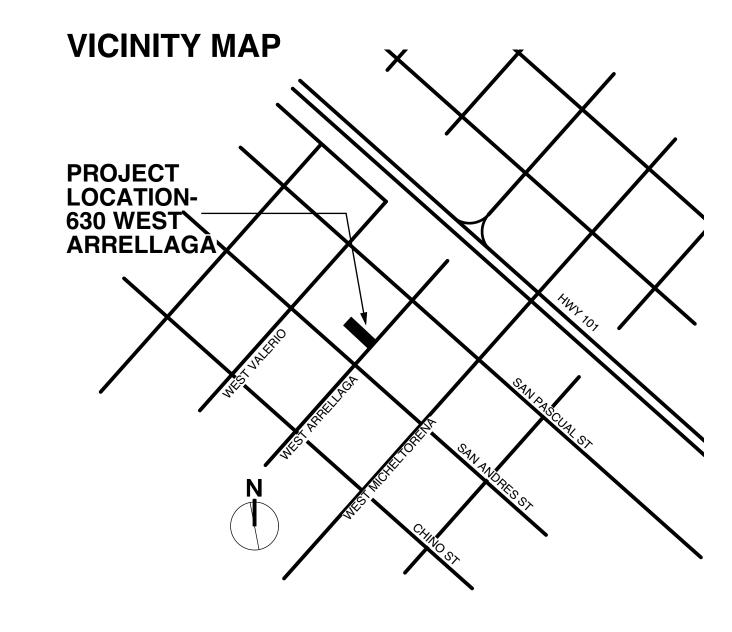
REPLACE (E) ALUMINUM WINDOWS WITH (N) VINYL RETROFIT WINDOWS INSTALL (N) PATIO SLAB, LEVER HARDWARE, THRESHOLD, AND ENTRY DOOR

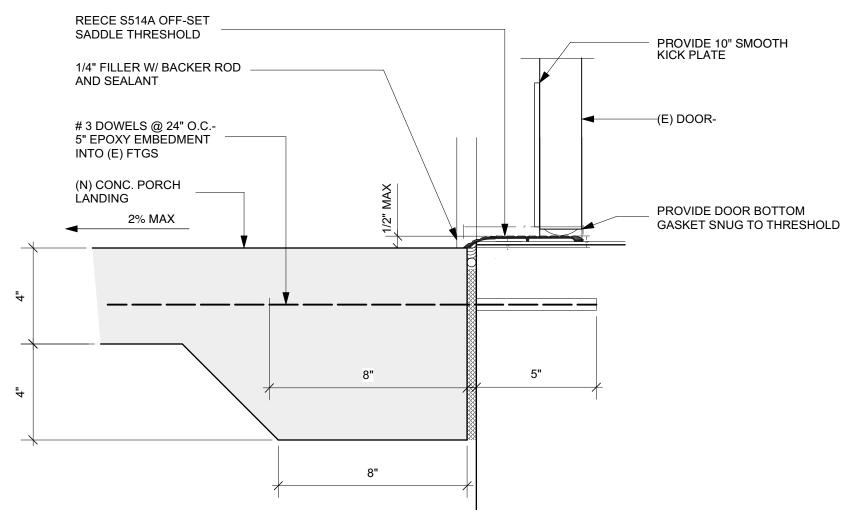
CODE COMPLIANCE

ALL WORK IS TO COMPLY WITH THE CALIFORNIA BUILDING CODE, 2016 EDITION; **UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS)**

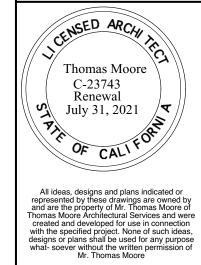
AMERICANS WITH DISABILITIES ACT (ADA),

THE CALIFORNIA PLUMBING CODE, 2016 EDITION; THE CALIFORNIA ELECTRICAL CODE, 2016 EDITION; THE CALIFORNIA MECHANICAL CODE, 2016 EDITION; THE CALIFORNIA FIRE CODE, 2016 EDITION; THE CALIFORNIA ENERGY CODE, 2016 EDITION; AND ALL SANTA BARBARA AMENDMENTS.



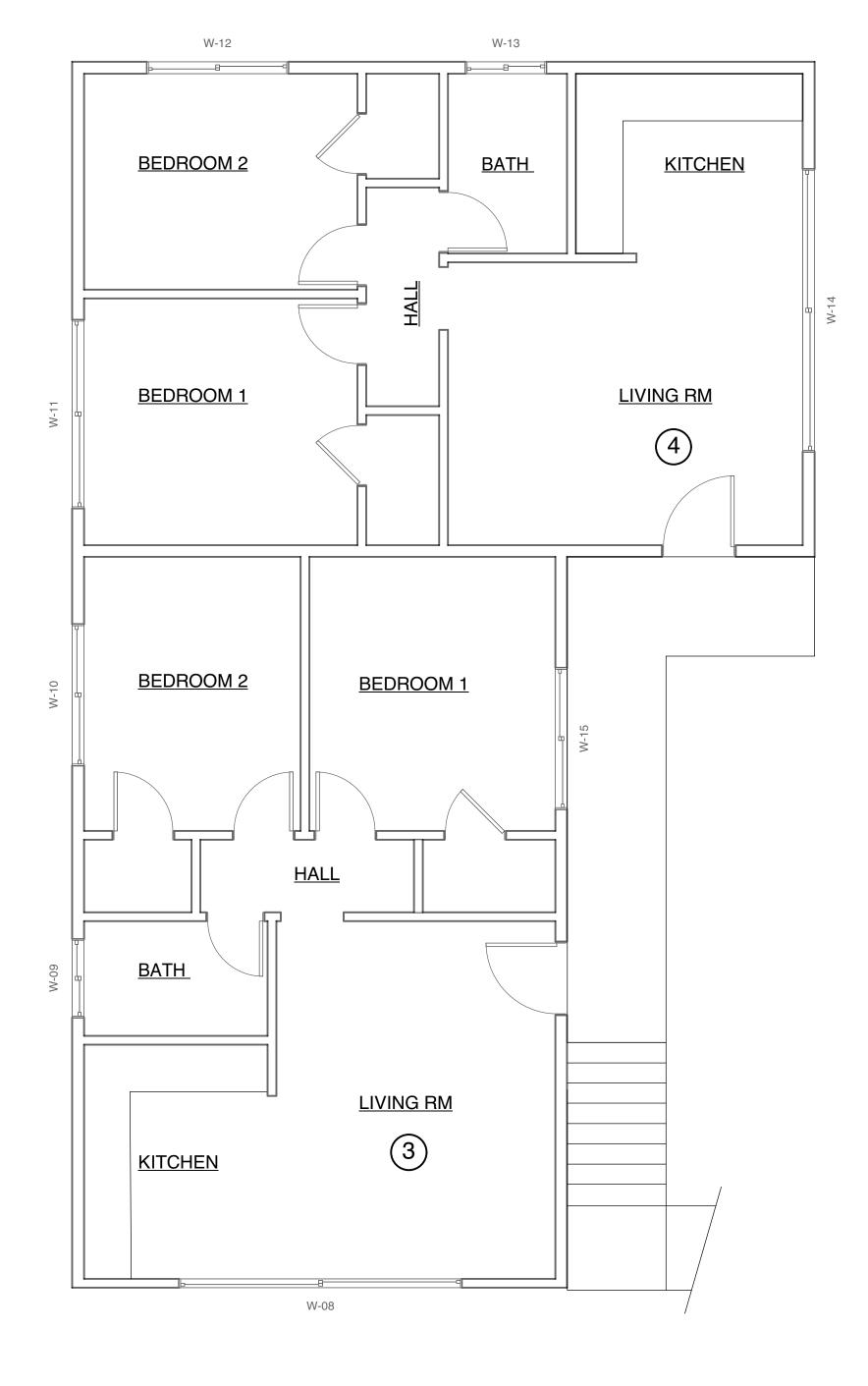


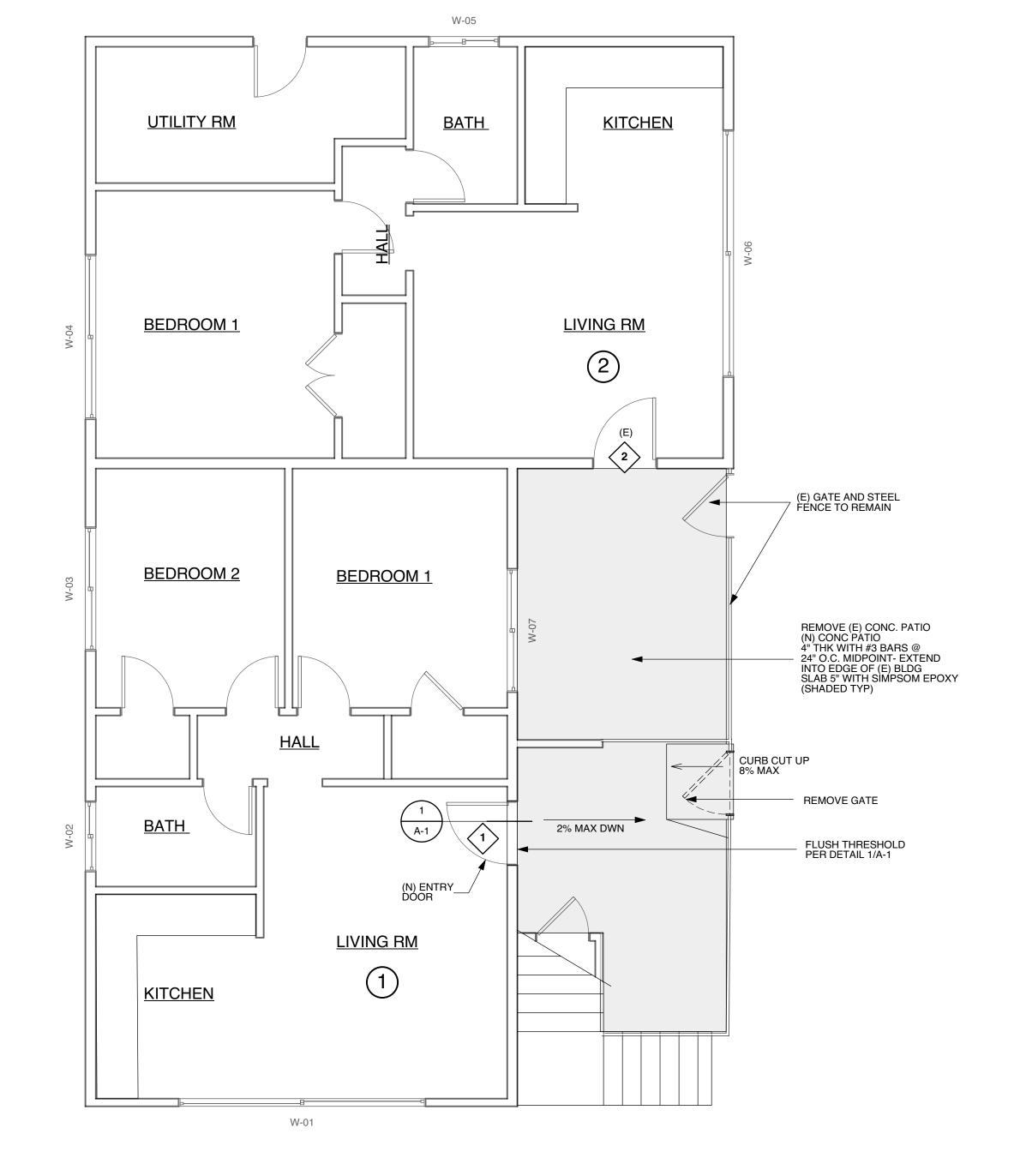
Tom Moore Architect A.I.A. Thomas Moore Architectural Services 818 East Figueroa Street #A Santa Barbara, CA 93103 805 963 4399



DATE DESCRIPTION 11/1/19 SUBMITTAL

1 OF 3 SHEETS





SECOND FLOOR PLAN



	Window Schedule										
		Nomina	l Size		Glass	Frame Details			Window Data		
	Mark	O.A. Width	O.A. Height	Sash Operation		Head Detail	Jamb Detail	Sill Detail	Glass	Tempered	Comments
W-	01	12'0"	4'0"	Horizontal Slider					G-1		
W-	02	3'5"	1'5"	Horizontal Slider					G-2		
W-	03	6'0"	3'0"	Horizontal Slider					G-1		EGRESS RATED-SEE EGRESS NOTES BELOW
W-	04	8'0"	3'0"	Horizontal Slider					G-1		EGRESS RATED-SEE EGRESS NOTES BELOW
W-	05	3'5"	1'5"	Horizontal Slider					G-2		
W-	06	12'0"	4'0"	Horizontal Slider					G-1		
W-	07	6'0"	3'0"	Horizontal Slider					G-1		EGRESS RATED-SEE EGRESS NOTES BELOW
W-	08	12'0"	4'0"	Horizontal Slider					G-1		
W-	09	3'4"	1'5"	Horizontal Slider					G-2		
W-	10	6'0"	3'0"	Horizontal Slider					G-1		EGRESS RATED-SEE EGRESS NOTES BELOW
W-	11	8'0"	3'0"	Horizontal Slider					G-1		EGRESS RATED-SEE EGRESS NOTES BELOW
W-	12	6'0"	3'0"	Horizontal Slider					G-1		EGRESS RATED-SEE EGRESS NOTES BELOW
W-	13	3'5"	1'5"	Horizontal Slider					G-2		
W-	14	12'0"	4'0"	Horizontal Slider					G-1		
W-	15	6'0"	3'0"	Horizontal Slider					G-1		EGRESS RATED-SEE EGRESS NOTES BELOW

G-1 TRANSPARENT DUAL GLAZED LOW-E (SEE NOTE BELOW)
G-2 TRANSLUCENT DUAL GLAZED LOW-E (SEE NOTE BELOW)
G-3 TRANSPARENT DUAL GLAZED TEMPERED- SEE NOTE BELOW AND WINDOW KEYNOTE 1 BELOW

NOTE: GLAZING TO MEET REQUIREMENTS ON TABLE 150.1-A FOR ZONE 6

DUAL GLAZED 'U' VALUE = .32 OR LESS DUAL GLAZED SHGC VALUE = .25 OR LESS

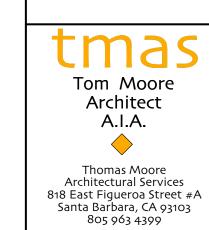
NEW WINDOWS TO BE MILGARD "QUIETLINE" VINYL W/ MILGARD LOW-E ARGON GLASS, OR EQUAL

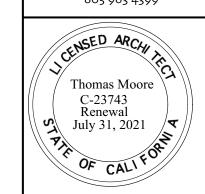
RETROFIT WINDOWS TO BE MILGARD "STYLELINE" VINYL RETROFIT W/ MILGARD SUNCOAT LOW-E ARGON GLASS, OR EQUAL. ALL WINDOW TO BE DUAL GLAZED WITH THICKER GLASS FOR SOUND REDUCTION

ALL DIMENSIONS IN SCHEDULE ARE NOMINAL. FIELD VERIFY FOR ACTUAL DIMENSIONS REQUIRED.

WINDOW KEYNOTES:

- LOCATIONS OF TEMPERED GLASS NOTED ON ELEVATIONS. TEMPERED GLASS REQUIRED WHERE WITHIN 24" OF EITHER EDGE OF A DOOR, OR WITHIN 18" OF A STAIR RAIL. VERIFY THESE LOCATIONS ON SITE.
- EGRESS WINDOW (MINIMUM ONE PER SLEEPING ROOM) TO MEET ALL REQUIREMENTS BELOW: WINDOW TO BE EGRESS RATED. MINIMUM NET CLEAR OPENING WIDTH 20 INCHES: MINUMIN NET CLEAR OPENING HEIGHT 24 INCHES MINIMUM NET CLEAR OPENING (GRADE FLOOR) 5 SQUARE FEE MAXIMUM HEIGHT CLEAR OPENING FROM FLOOR 44 INCHES
- 3. CONTRACTOR IS TO FEILD VERIFY (E) WINDOW OPENING DIMENSIONS

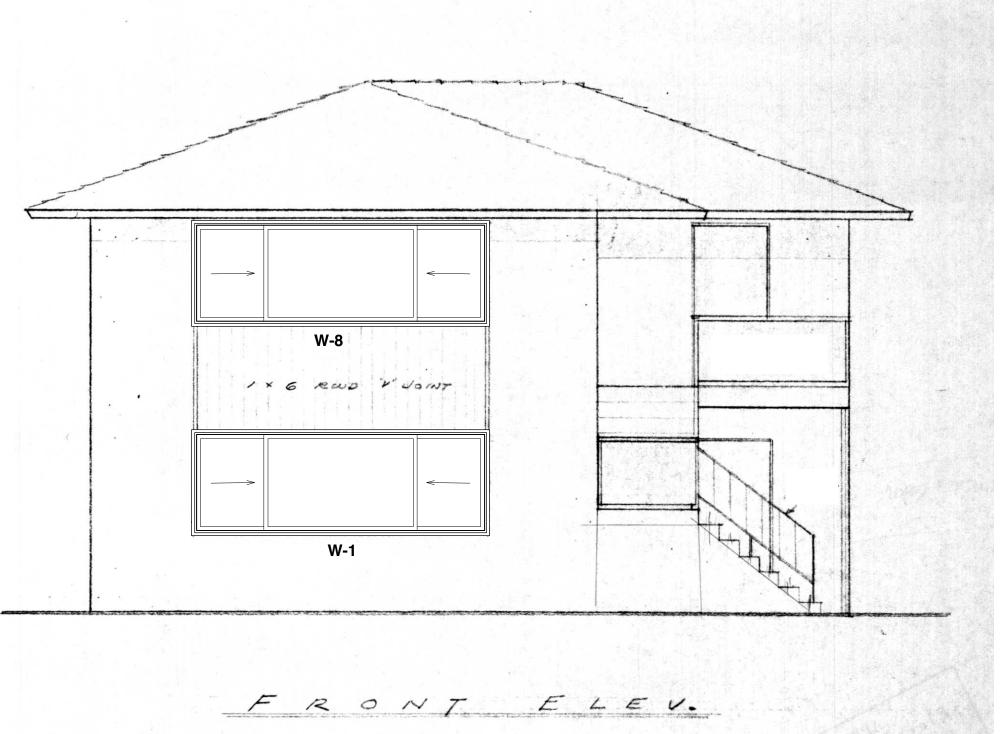


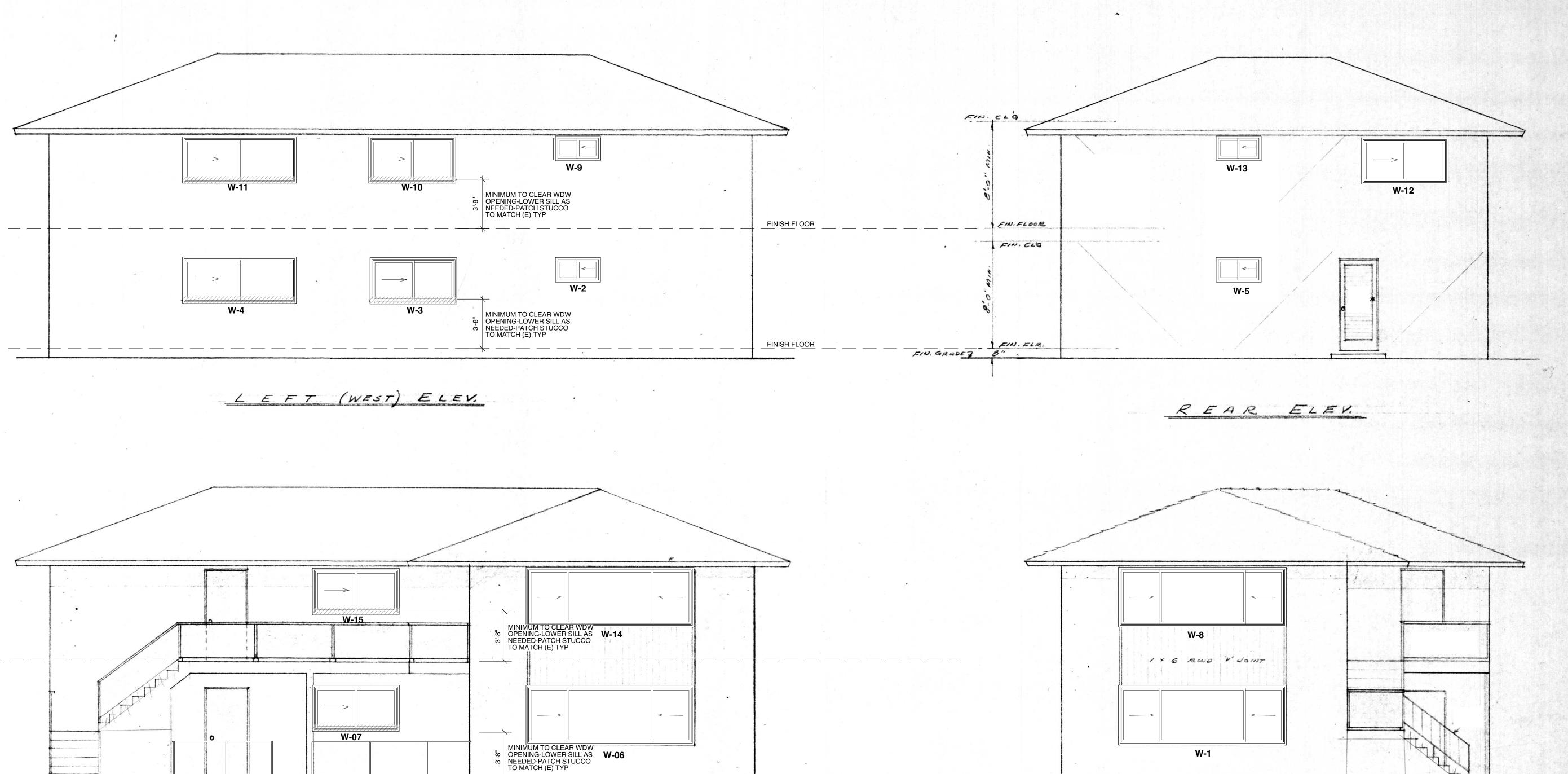


All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Mr. Thomas Moore of Thomas Moore Architectural Services and were created and developed for use in connection with the specified project. None of such ideas, designs or plans shall be used for any purpose what-soever without the written permission of Mr. Thomas Moore

DATE DESCRIPTION 11/1/19 SUBMITTAL

2 **OF** 3 **SHEETS**





RIGHT (EAST) ELEY.

Thomas Moore Architectural Services 818 East Figueroa Street #A Santa Barbara, CA 93103 805 963 4399 Thomas Moore C-23743
Renewal
July 31, 2021

tmas

Tom Moore

Architect A.I.A.

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3 OF 3 SHEETS